

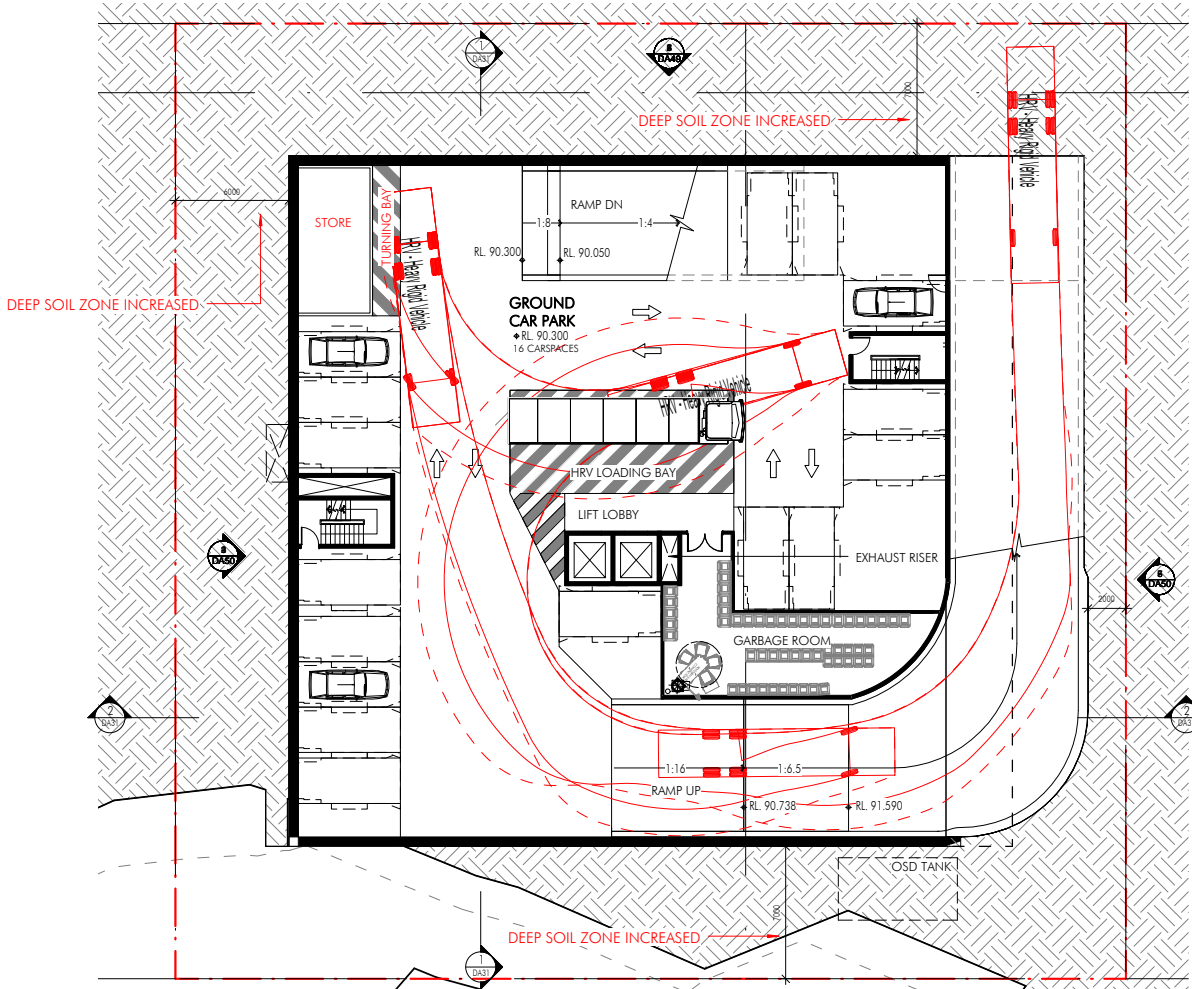
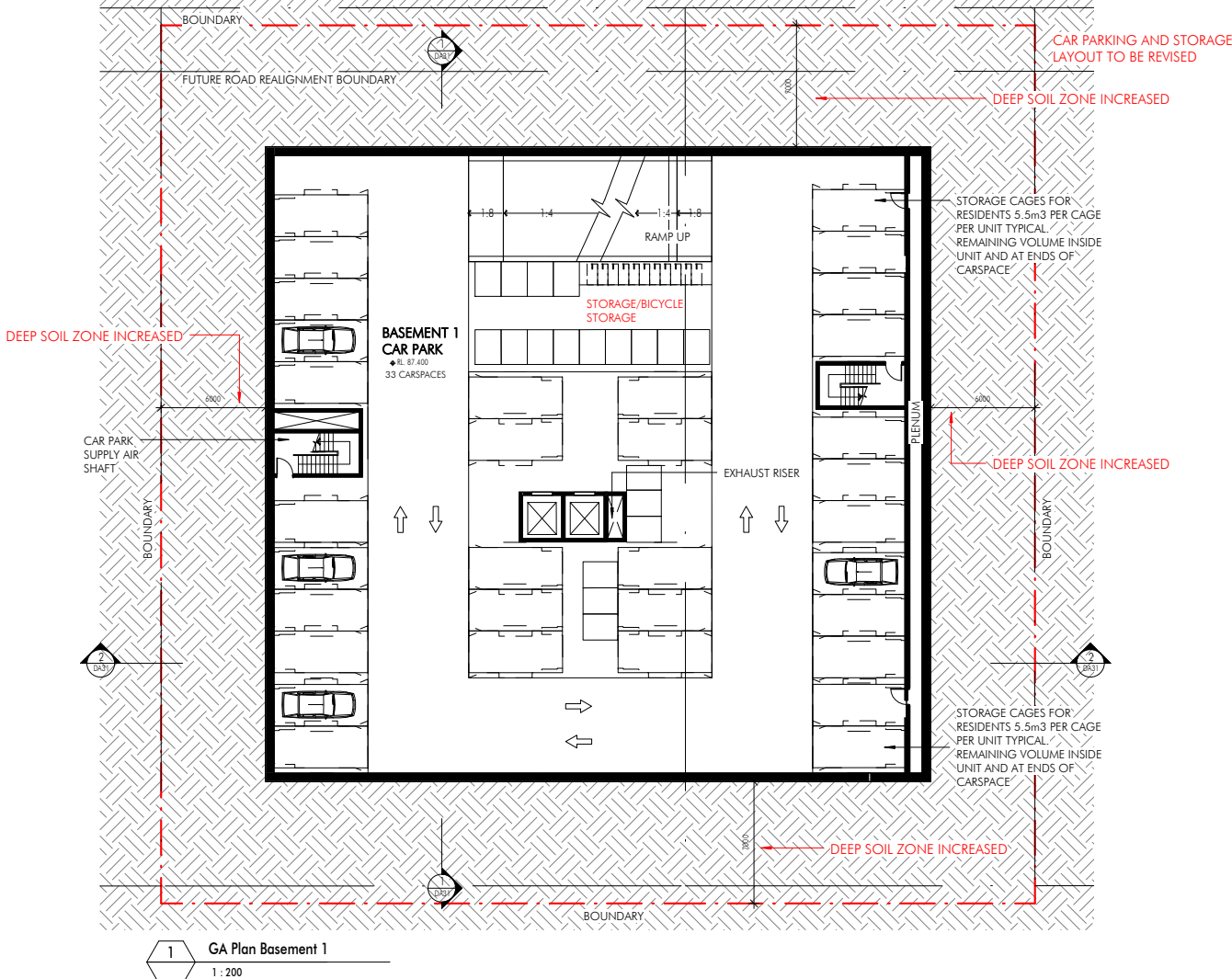
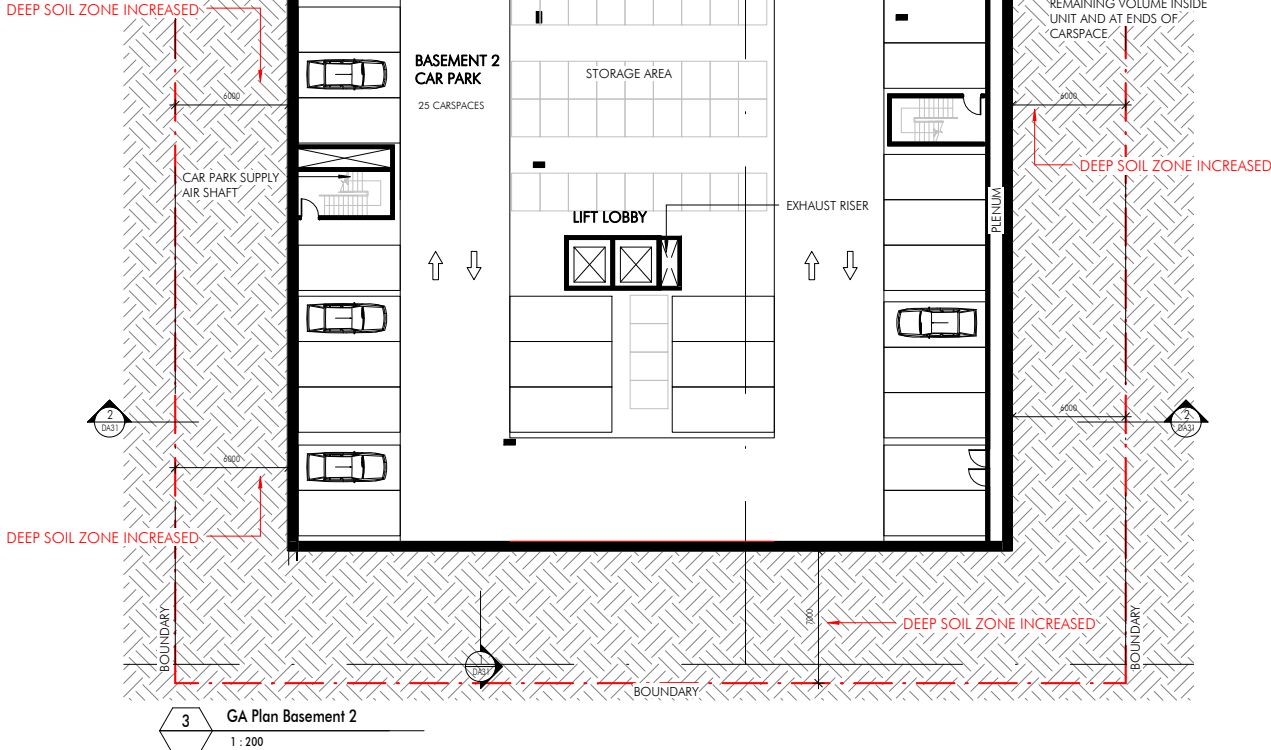
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Client

8 Epping PTY LTD

Project

Residential Development  
6 - 8 Epping Road, Epping



CARPARK SUMMARY	
TOTAL CAR SPACES	80 (8 ACCESSIBLE)
VISITOR SPACES	11
RESIDENT CAR SPACES	69
RESIDENT CAR SPACES REQUIRED	69 (compliant)
VISITOR CAR SPACES REQUIRED	10 (compliant)
DISABLED CAR SPACES REQUIRED	8 (compliant)
BICYCLE PARKING	22.5 (compliant)
MOTORBIKE PARKING	2 (compliant)

TOTAL NUMBER OF CARSPACES  
TO BE AMENDED DUE TO  
REDUCTION IN OVERALL UNITS

UNIT TYPES LEGEND	
UNIT TYPE 1A	
UNIT TYPE 1B+5	
UNIT TYPE 2A	
UNIT TYPE 2A-2	
UNIT TYPE 2C	
UNIT TYPE 2D	
UNIT TYPE 2E	
UNIT TYPE 3A	
UNIT TYPE 3B	
STUDIO UNIT	

* SOLAR ACCESS	2
CV CROSS VENTILATION	4

DEVELOPMENT APPLICATION

2 GA Plan Ground  
1:200

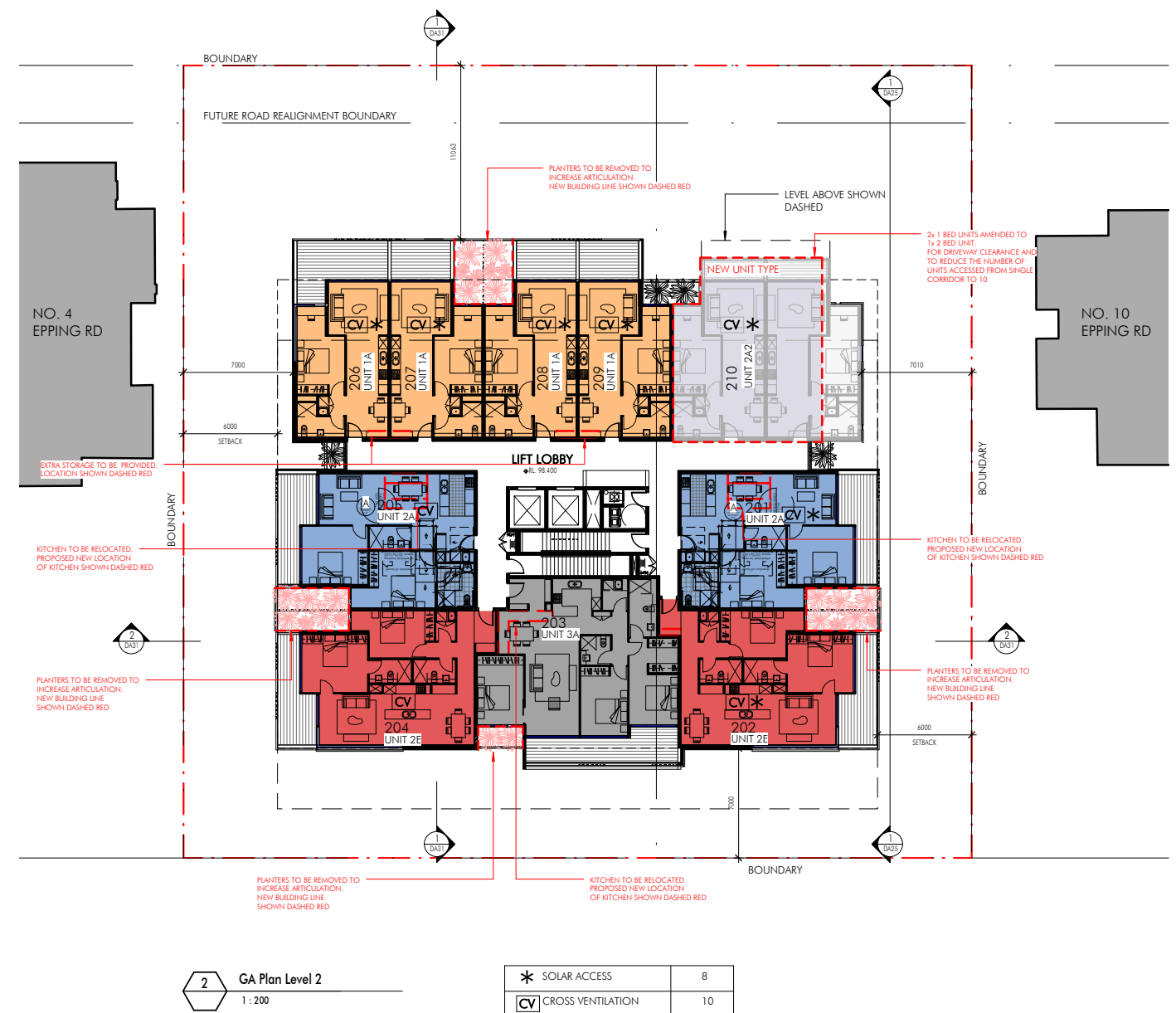
Issue	Description	Date
A	Issue for Development Application	06.06.14

Title Basement & Ground Floor Plan  
Scale As indicated  
Date 06/06/14  
Number 4464\_DA11 [A]











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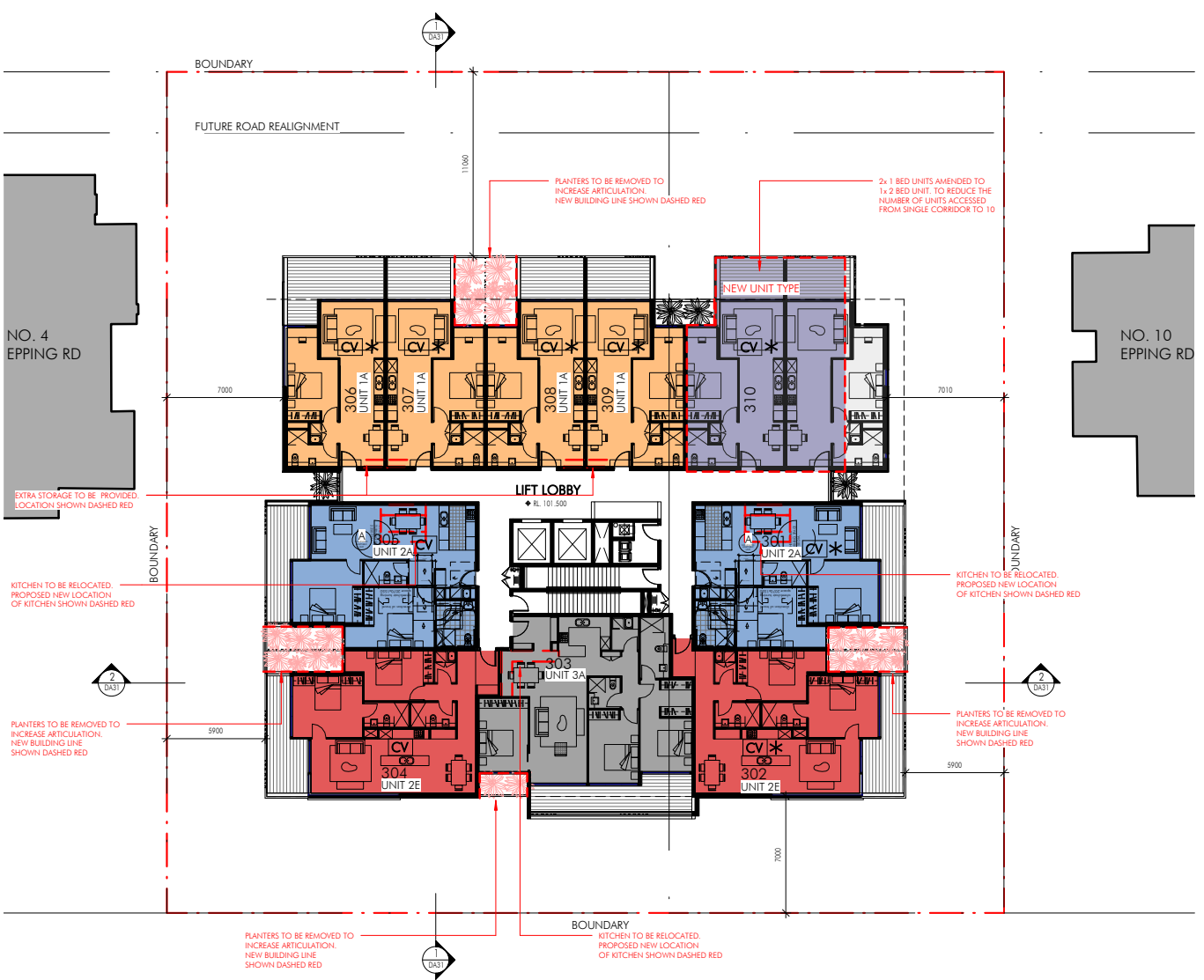
### UNIT TYPES LEGEND

	UNIT TYPE 1A
	UNIT TYPE 1B+5
	UNIT TYPE 2A
	UNIT TYPE 2A-2
	UNIT TYPE 2C
	UNIT TYPE 2D
	UNIT TYPE 2E
	UNIT TYPE 3A
	UNIT TYPE 3B
	STUDIO UNIT

[illegible]

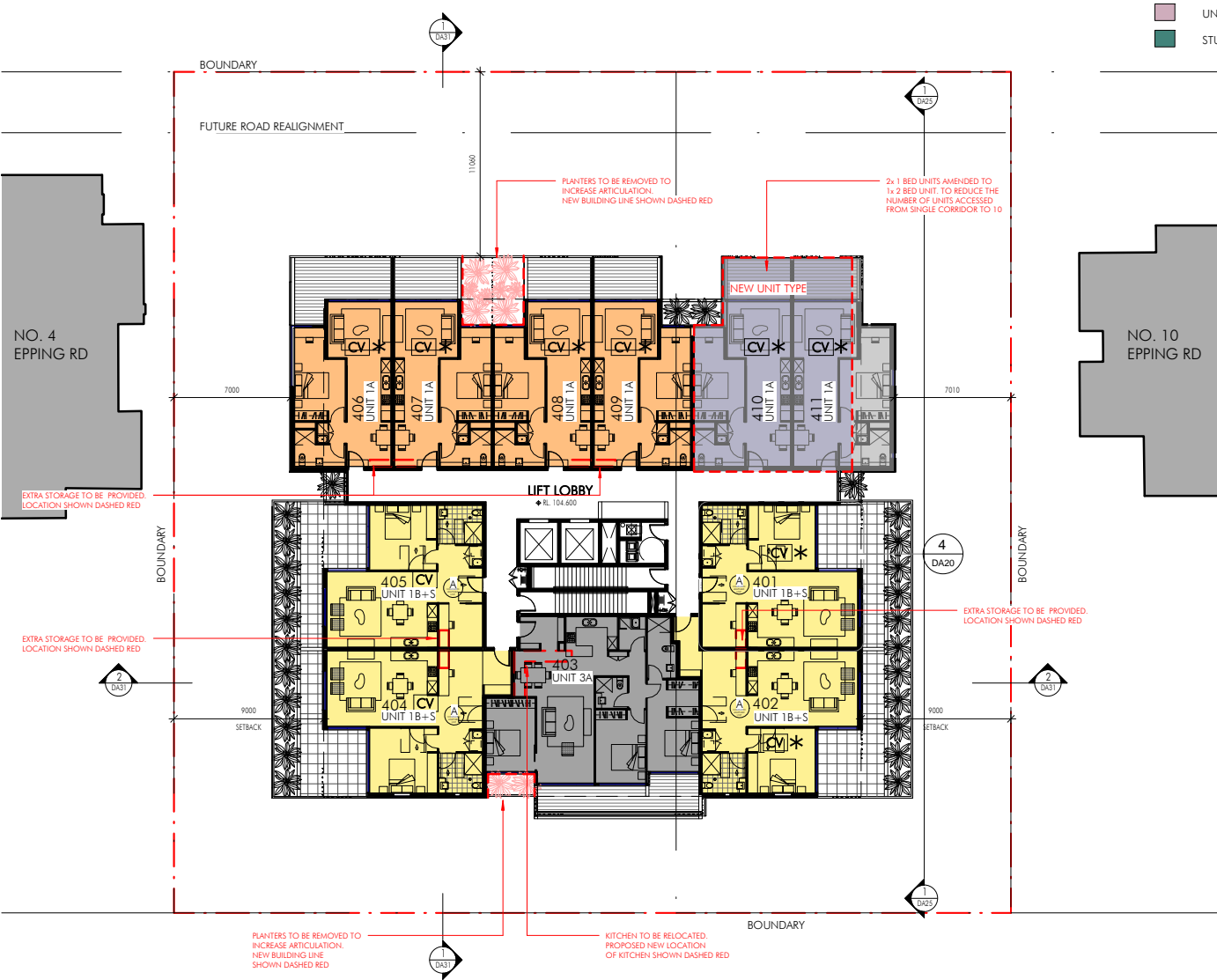
UNIT TYPES LEGEND

- UNIT TYPE 1A
- UNIT TYPE 1B+S
- UNIT TYPE 2A
- UNIT TYPE 2A-2
- UNIT TYPE 2C
- UNIT TYPE 2D
- UNIT TYPE 2E
- UNIT TYPE 3A
- UNIT TYPE 3B
- STUDIO UNIT



1 GA Plan Level 3  
1 : 200

* SOLAR ACCESS	8
CV CROSS VENTILATION	10



2 GA Plan Level 4  
1 : 200

* SOLAR ACCESS	8
CV CROSS VENTILATION	10

DEVELOPMENT APPLICATION



8 Epping PTY LTD

Residential Development  
6 - 8 Epping Road, Epping

Issue	Description	Date
A	Issue for Development Application	06.06.14

Title  
Scale  
Date  
Number

Level 3 & 4 Floor Plan  
As indicated  
06/06/14  
4464\_DA13 [A]

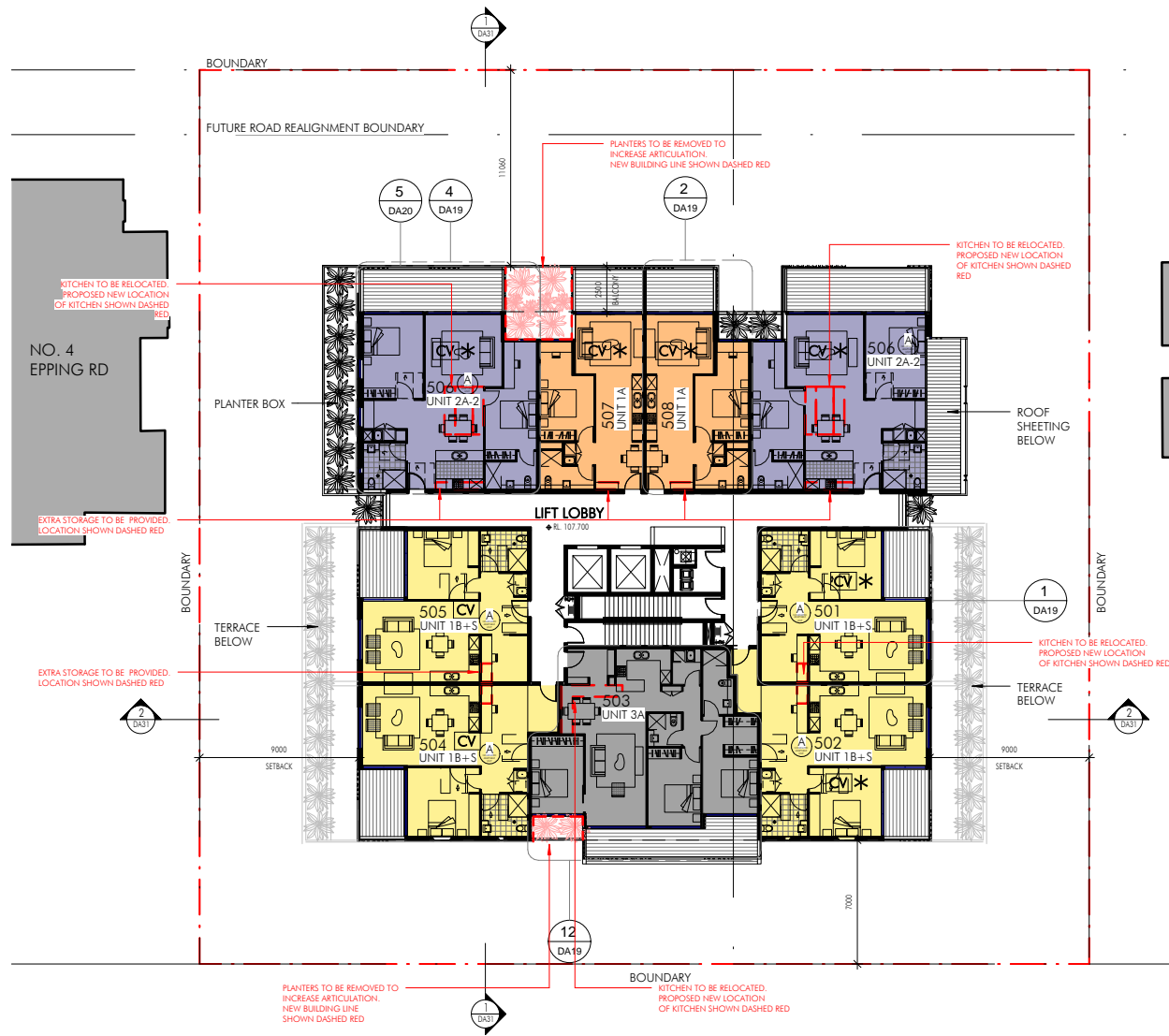
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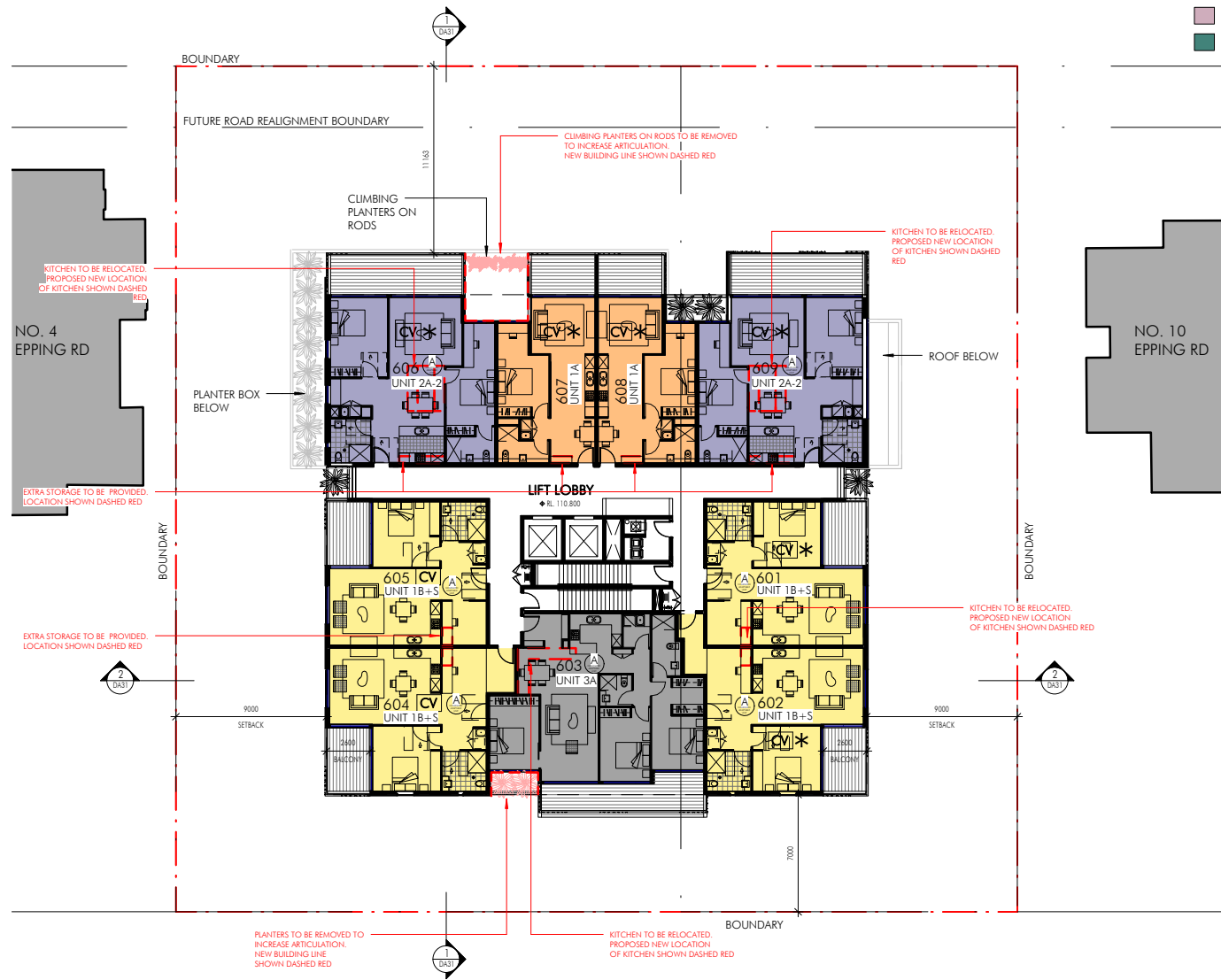
UNIT TYPES LEGEND

- UNIT TYPE 1A
- UNIT TYPE 1B+S
- UNIT TYPE 2A
- UNIT TYPE 2A-2
- UNIT TYPE 2C
- UNIT TYPE 2D
- UNIT TYPE 2E
- UNIT TYPE 3A
- UNIT TYPE 3B
- STUDIO UNIT



1 GA Plan Level 5  
1 : 200

* SOLAR ACCESS	6
CV CROSS VENTILATION	8



2 GA Plan Level 6  
1 : 200

* SOLAR ACCESS	6
CV CROSS VENTILATION	8

DEVELOPMENT APPLICATION



8 Epping PTY LTD

Project  
Residential Development  
6 - 8 Epping Road, Epping

Issue	Description	Date
A	Issue for Development Application	06/06/14

Title  
Level 5 & 6 Floor Plan  
Scale  
As indicated  
Date  
06/06/14  
Number  
4464\_DA14 [A]

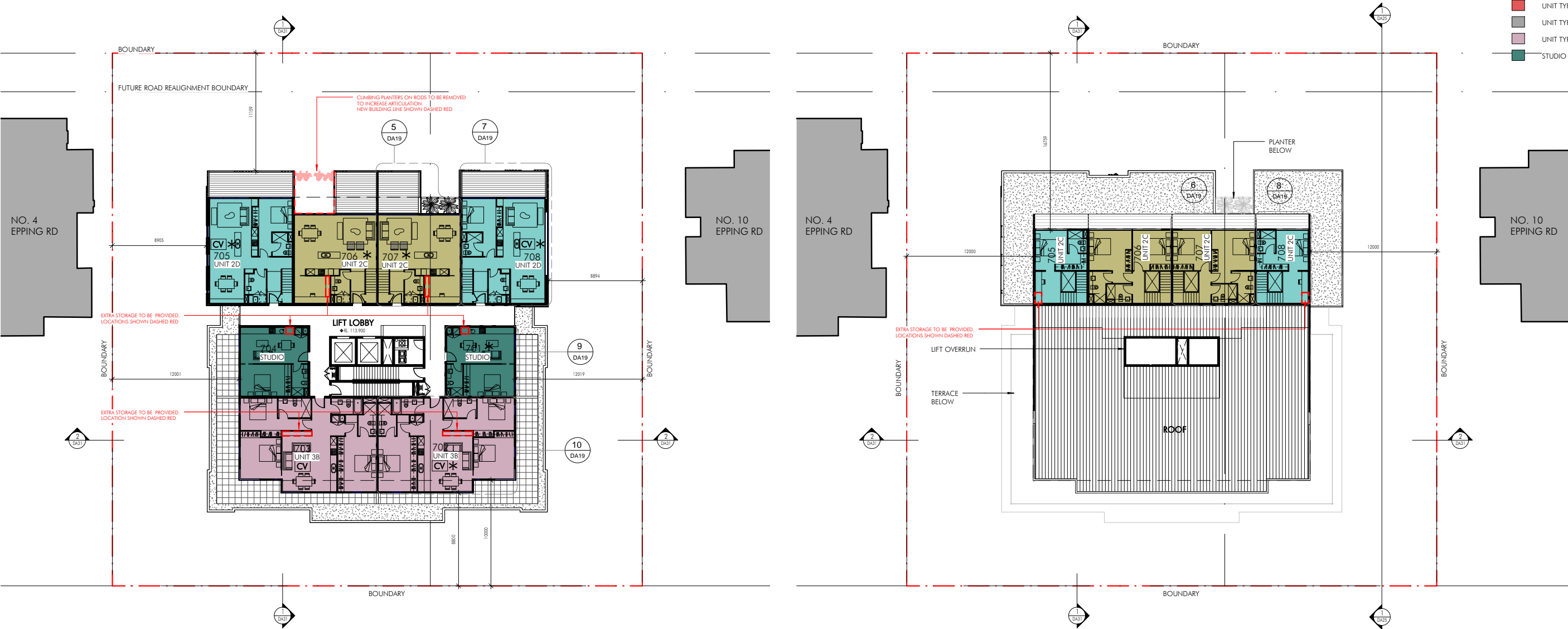
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UNIT TYPES LEGEND

- UNIT TYPE 1A
- UNIT TYPE 1B+5
- UNIT TYPE 2A
- UNIT TYPE 2A-2
- UNIT TYPE 2C
- UNIT TYPE 2D
- UNIT TYPE 2E
- UNIT TYPE 3A
- UNIT TYPE 3B
- STUDIO UNIT



1 GA Plan Level 7  
1:200

* SOLAR ACCESS	6
CV CROSS VENTILATION	4

2 GA Plan Level 7 Mezzanine  
1:200

DEVELOPMENT APPLICATION



8 Epping PTY LTD

Project  
Residential Development  
6 - 8 Epping Road, Epping

Issue	Description	Date
A	Issue for Development Application	06.06.14

Title Level 7 & Mezzanine Floor Plan  
Scale As indicated  
Date 06/06/14  
Number 4464\_DA15 [A]

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Client

8 Epping PTY LTD

Project

Residential Development  
6 - 8 Epping Road, Epping

Issue	Description	Date
A	Issue for Development Application	06.06.14

Title

Elevations - Sheet 1

Scale

As indicated

Date

06/06/14

Number

4464\_DA21 [A]

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DEVELOPMENT APPLICATION



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Client

8 Epping PTY LTD

Project

Residential Development  
6 - 8 Epping Road, Epping

Issue	Description	Date
A	Issue for Development Application	06.06.14

Title

Scale

Date

Number

Elevations - Sheet 2

As indicated

06/06/14

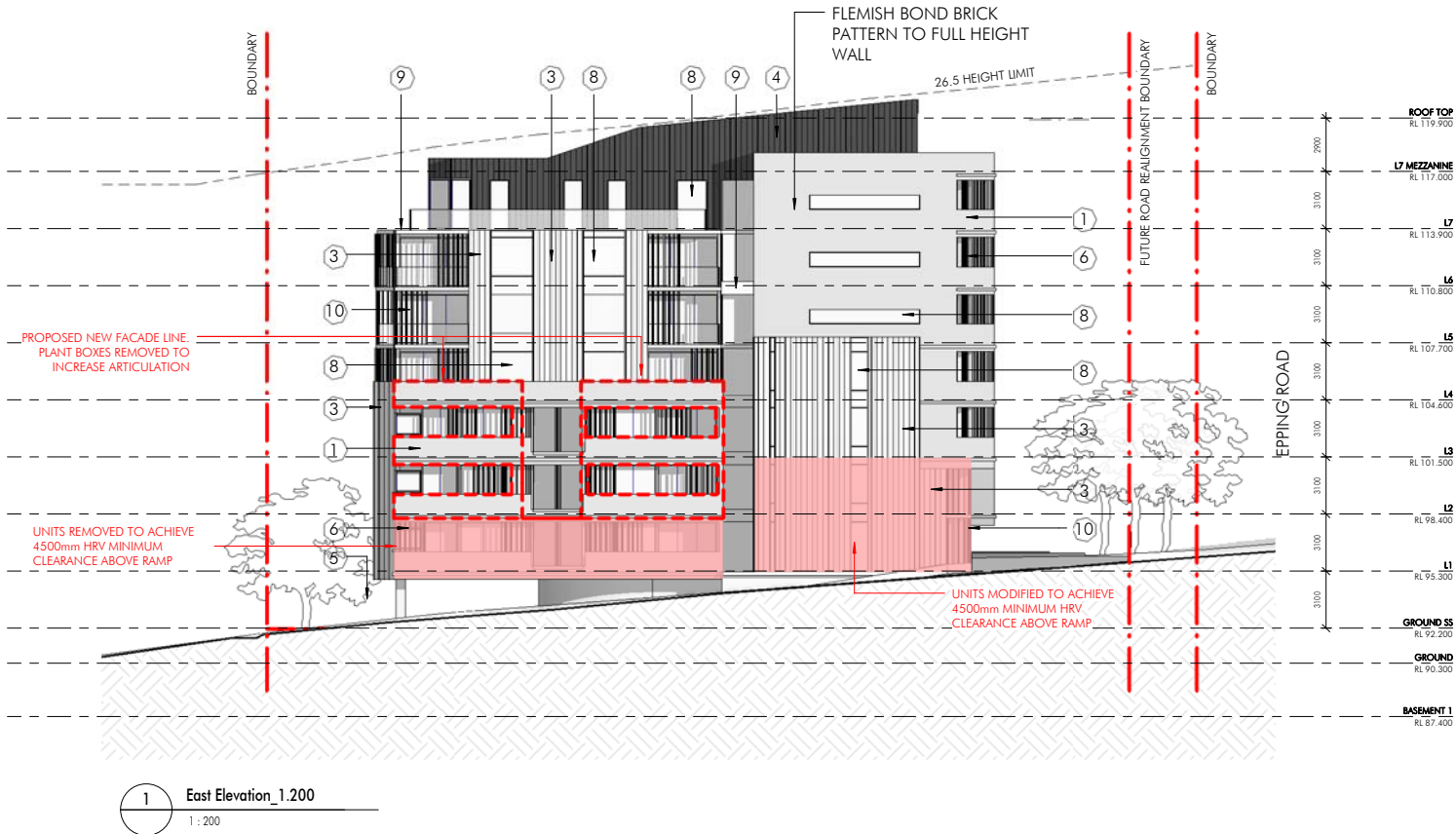
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DEVELOPMENT APPLICATION

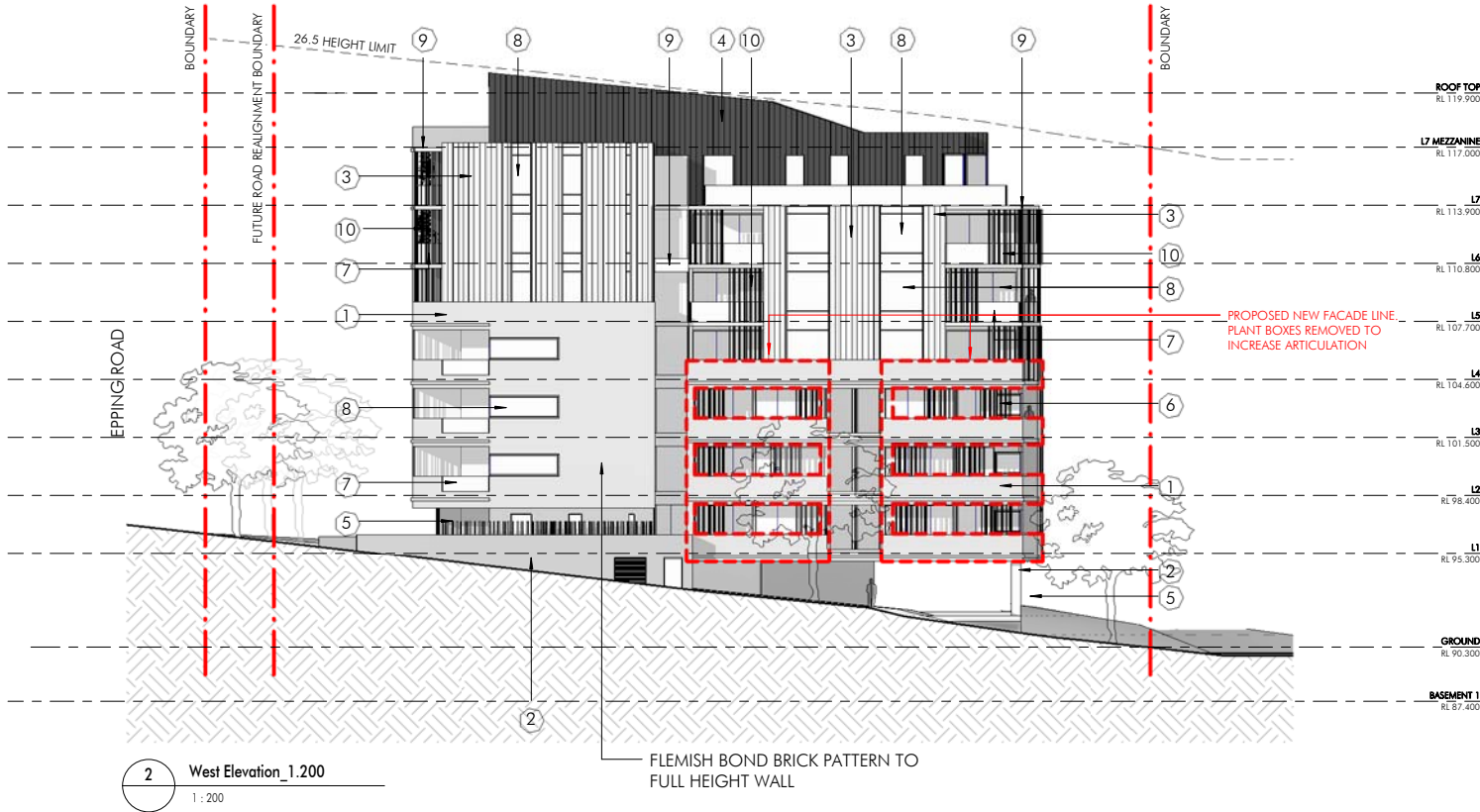


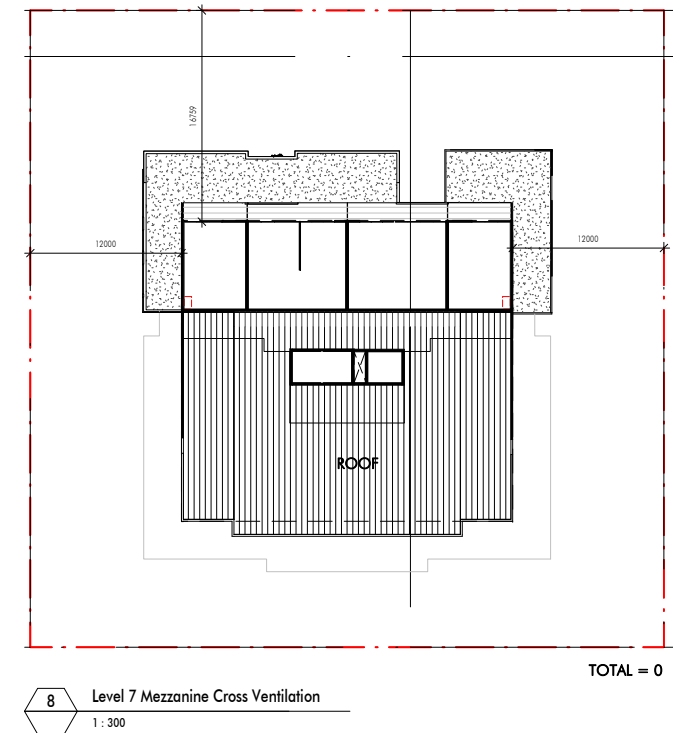
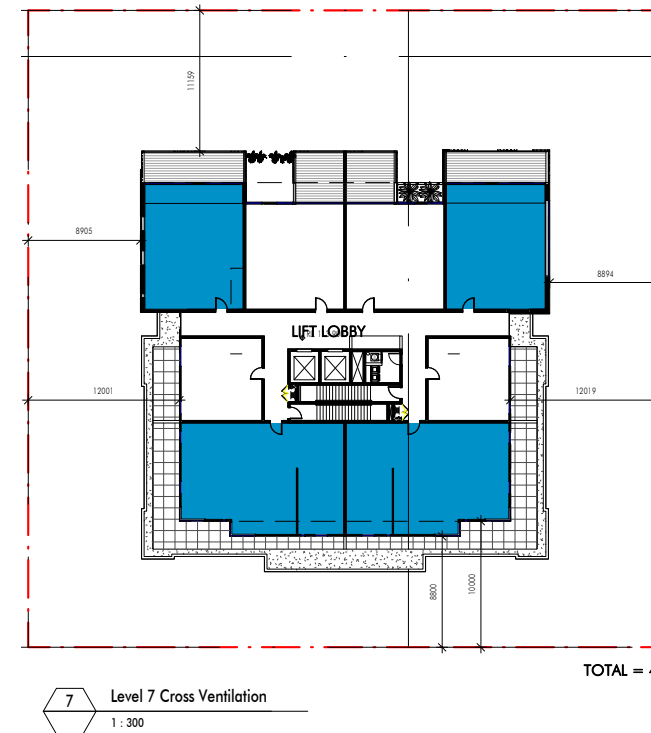
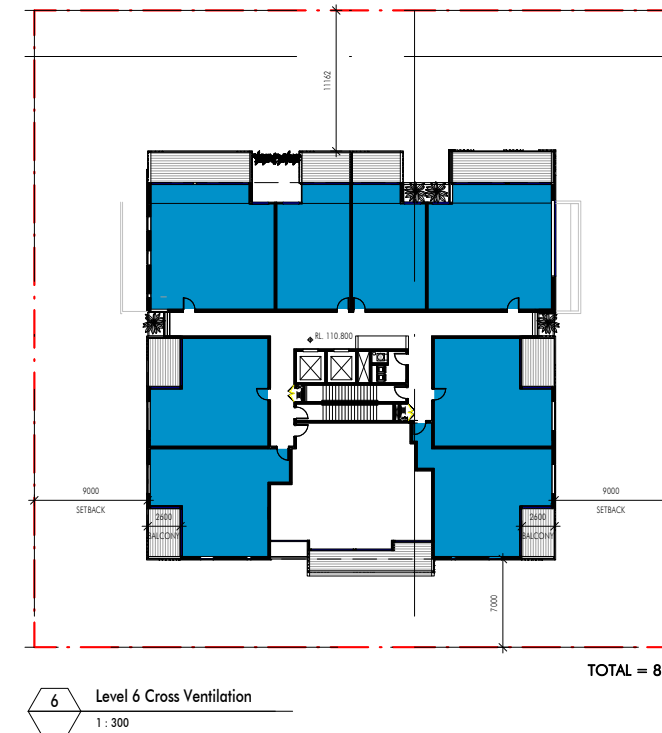
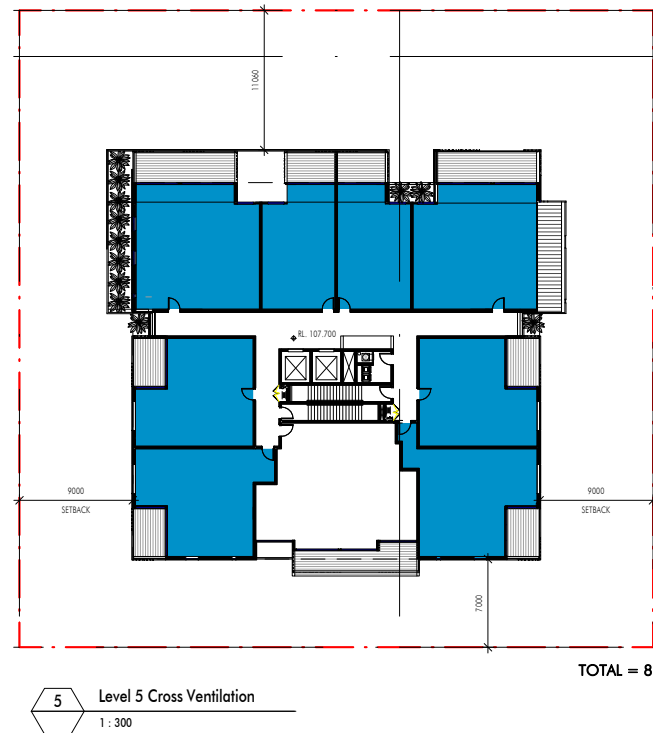
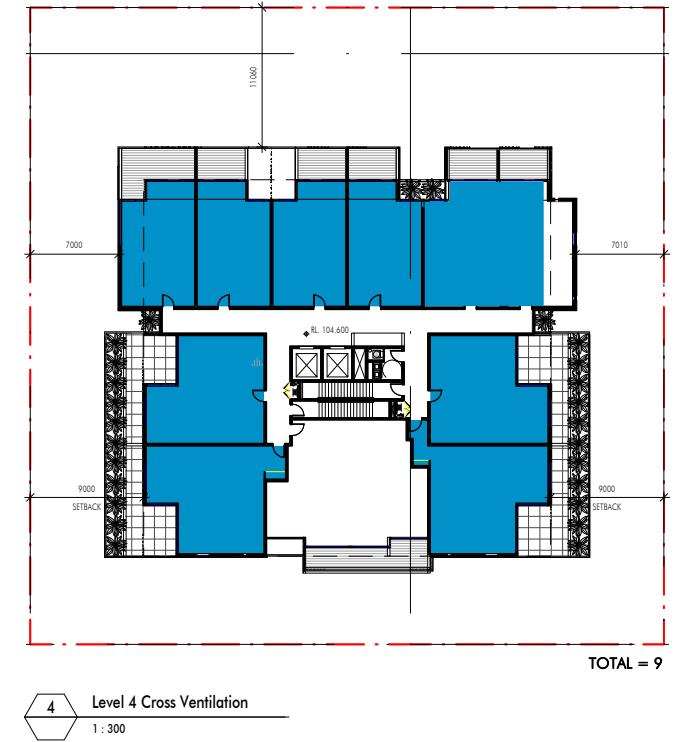
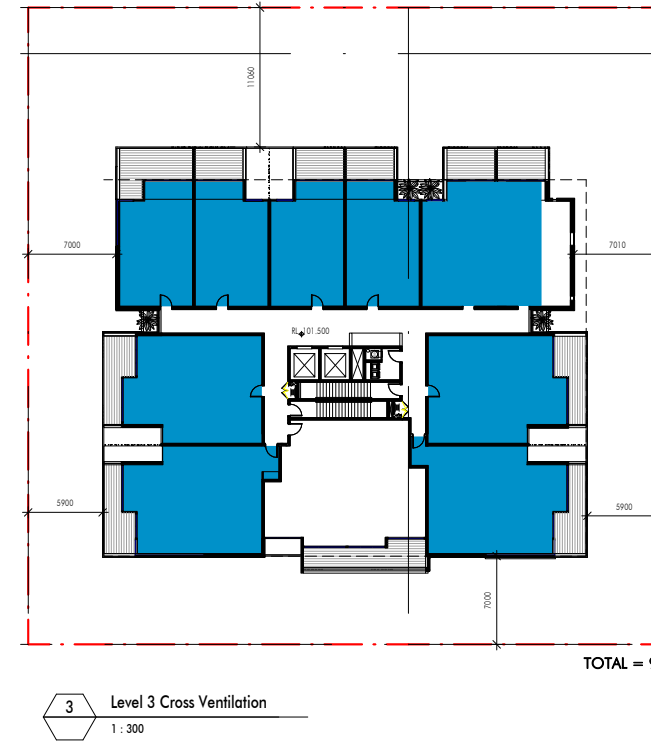
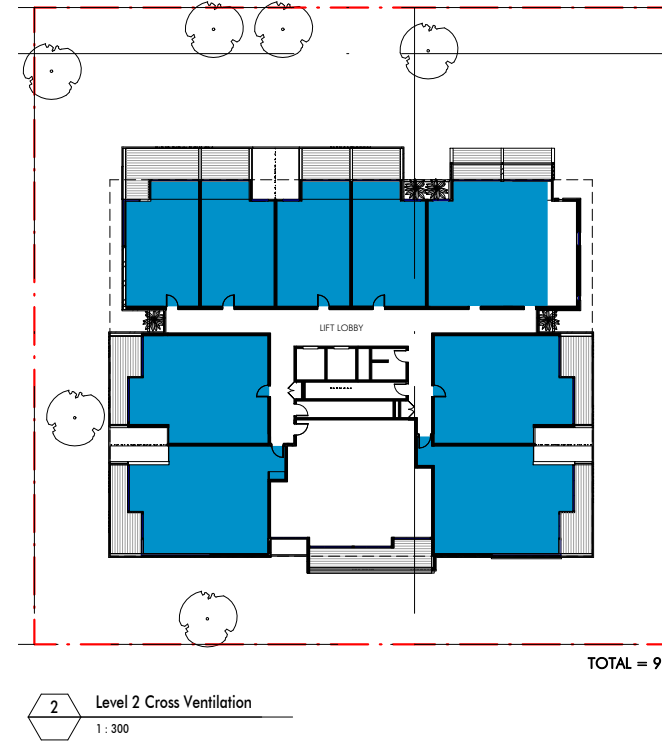
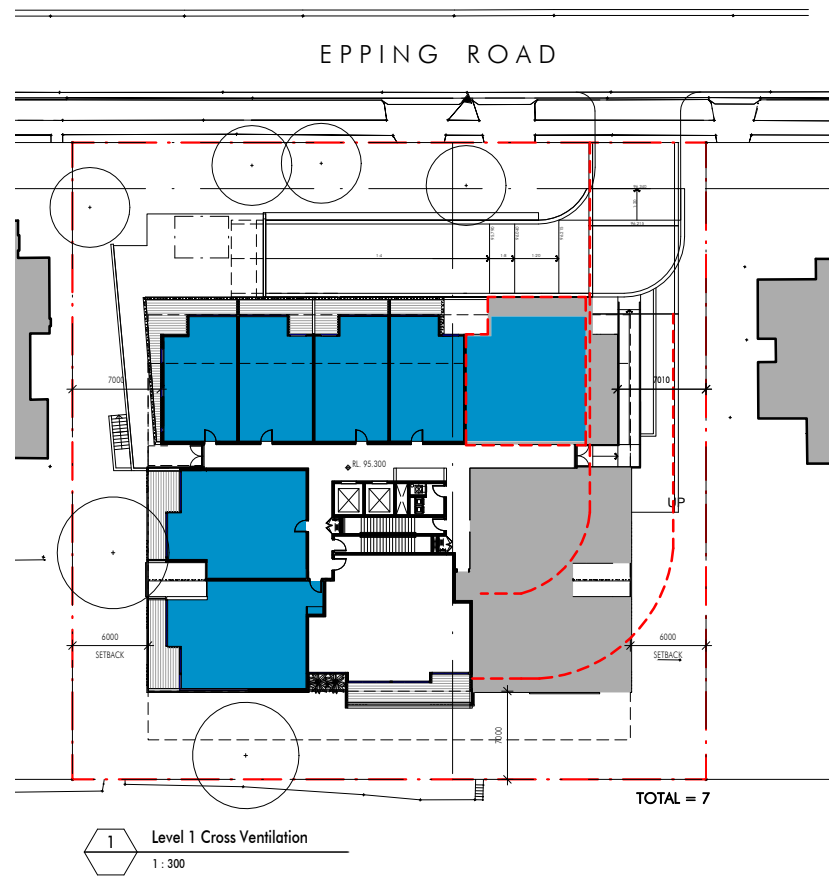
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EXTERNAL FINISHES LEGEND

- ① FACE BRICK AUSTRAL 'CHAROLAIS CREAM'
- ② FACE BRICK AUSTRAL 'BOWRAL BLUE'
- ③ BLACK METAL CLADDING
- ④ GREY METAL CLADDING
- ⑤ BLACK PALISADE FENCING ON 'BOWRAL BLUE' BASE
- ⑥ IMITATION TIMBER SCREENS/BLADES
- ⑦ GLAZED BALUSTRADE
- ⑧ POWDERCOATED ALUMINIUM FRAMED WINDOWS 'DULUX LUNAR ECLIPSE'
- ⑨ MASONRY RENDERED WITH PAINT FINISH - 'DULUX DOMINO'
- ⑩ POWDERCOATED SCREEN - 'DULUX LUNAR ECLIPSE'





CROSS VENTILATED APARTMENT  
48/64 (75%) OF APARTMENTS ACHIEVE CROSS-VENTILATION

DEVELOPMENT APPLICATION



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Client  
8 Epping PTY LTD

Project  
Residential Development  
6 - 8 Epping Road, Epping

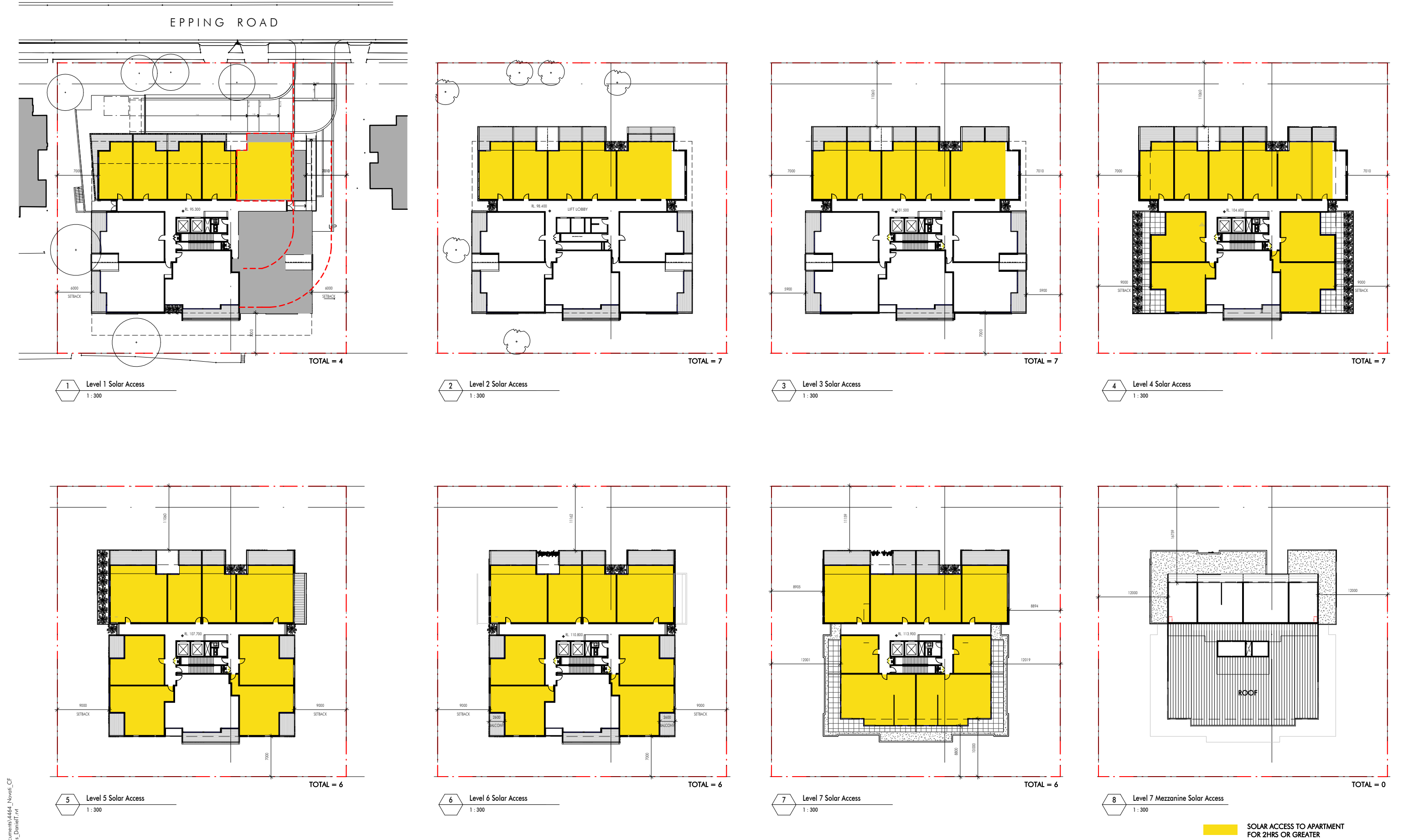
Issue	Description	Date

Title  
Scale  
Date  
Number

Cross Ventilation Digrams  
1 : 300  
09/26/14  
4464\_DA47  
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Client

8 Epping PTY LTD

Project

Residential Development  
6 - 8 Epping Road, Epping

Issue	Description	Date

Title

Scale

Date

Number

Solar Access Diagrams

1 : 300

09/26/14

4464\_DA48

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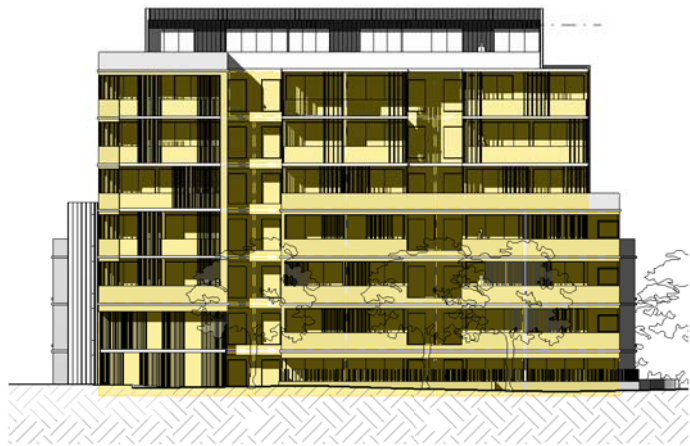
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1 North Elevation - 9.00 AM Winter Solstice  
1 : 250



2 North Elevation - 10.00 AM Winter Solstice  
1 : 250



3 North Elevation - 11.00 AM Winter Solstice  
1 : 250



4 North Elevation - 12.00 PM Winter Solstice  
1 : 250



5 North Elevation - 1.00 PM Winter Solstice  
1 : 250



6 North Elevation - 2.00 PM Winter Solstice  
1 : 250



7 North Elevation - 3.00 PM Winter Solstice  
1 : 250

APARTMENT WITH SOLAR ACCESS  
TO LIVING AREA AT THIS TIME

DELETED APARTMENTS

TOTAL NUMBER OF APARTMENTS: 64  
TOTAL NUMBER OF APARTMENTS  
WITH SOLAR ACCESS OF 2 HOURS OR GREATER: 48 [75%]

DEVELOPMENT APPLICATION



8 Epping PTY LTD

Project  
Residential Development  
6 - 8 Epping Road, Epping

Issue	Description	Date

Title Solar Access to North Elevation  
Scale 1 : 250  
Date 10/02/14  
Number 4464\_DA49  
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5 East Elevation - 9.00 AM Winter Solstice  
1 : 250



6 East Elevation - 10.00 AM Winter Solstice  
1 : 250



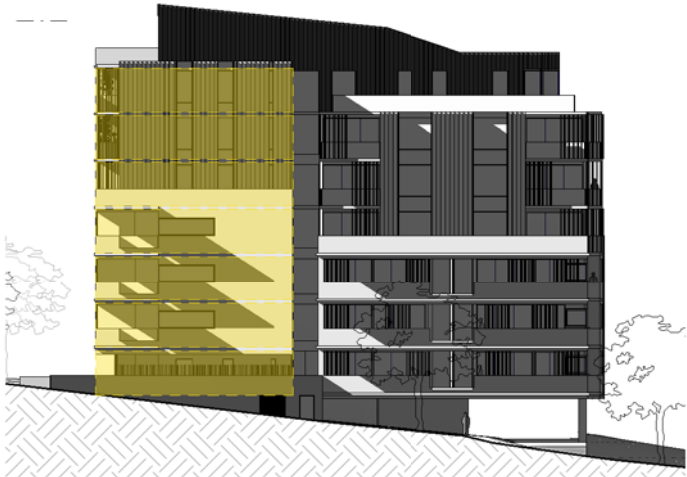
7 East Elevation - 11.00 AM Winter Solstice  
1 : 250



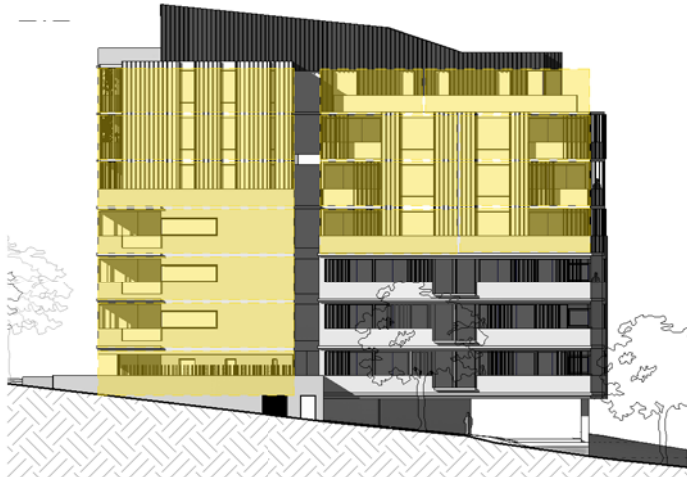
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1 : 250



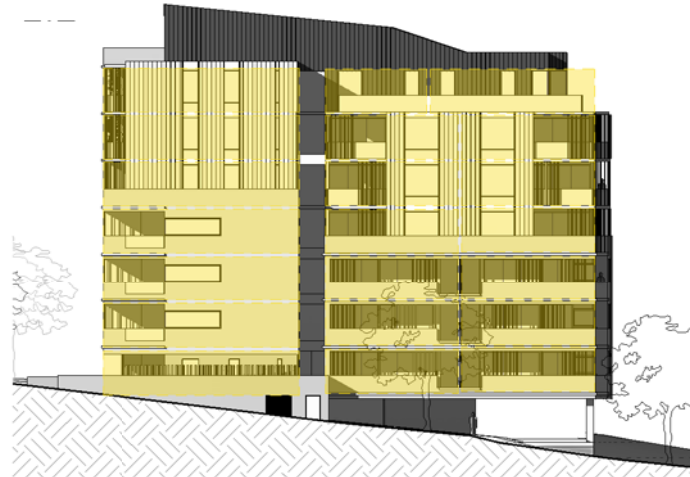
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1 : 250



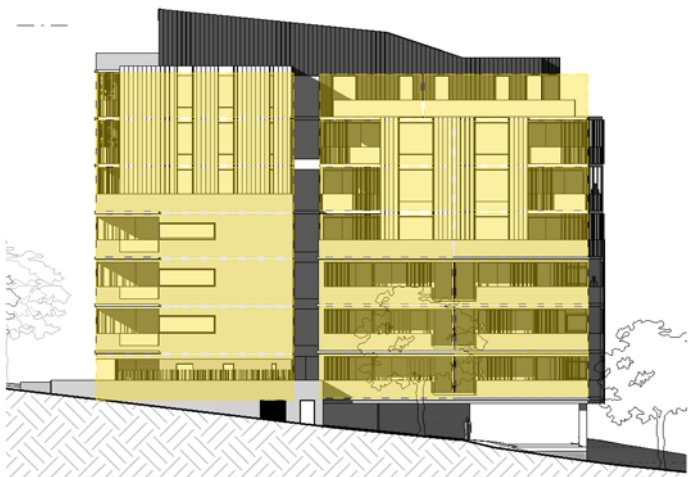
3 West Elevation - 12.00 PM Winter Solstice  
1 : 250



4 West Elevation - 1.00 PM Winter Solstice  
1 : 250



9 West Elevation - 2.00 PM Winter Solstice  
1 : 250



2 West Elevation - 3.00 PM Winter Solstice  
1 : 250

APARTMENT WITH SOLAR ACCESS  
TO LIVING AREA AT THIS TIME

DELETED APARTMENTS

TOTAL NUMBER OF APARTMENTS: 64  
TOTAL NUMBER OF APARTMENTS  
WITH SOLAR ACCESS OF 2 HOURS OR GREATER: 48 [75%]

DEVELOPMENT APPLICATION



Client

8 Epping PTY LTD

Project

Residential Development  
6 - 8 Epping Road, Epping

Issue	Description	Date

Solar Access to East & West Elevations

Scale 1 : 250

Date 10/02/14

Number 4464\_DA50

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